

DA NO: DA-2021/5/B

ADDRESS: 1A BURRA ROAD, ARTARMON NSW 2064.

PROPOSAL: SUPPLEMENTARY REPORT - MODIFICATION OF DA-2021/5 FOR ALTERATIONS TO THE APPROVED BUILDING MATERIALS, INCLUDING CHANGES TO THE EXTERNAL FLOOR FINISHES AND CHANGES TO THE LEVELS OF THE ACCESSIBLE DROP OFF ZONE AND CAR SPACE.

RECOMMENDATION: APPROVAL

ATTACHMENTS:

1. SUPPLEMENTARY ASSESSMENT
2. APPLICANT WRITTEN RESPONSE
3. LETTER FROM ARCHITECTURAL PROJECTS DATED 11 DECEMBER 2024
4. REPORT FROM ARCHITECTURAL PROJECTS DATED 11 DECEMBER 2024
5. LETTER FROM ARCHITECTURAL PROJECTS DATED 26 AUGUST 2024
6. MEMO FROM COUNCIL'S HERITAGE OFFICER DATED 12 DECEMBER 2024
7. SCHEDULE OF CONDITIONS
8. CONSERVATION MANAGEMENT PLAN (OCTOBER 2021)

RESPONSIBLE OFFICER: RITU SHANKAR - TEAM LEADER

AUTHOR: PETER WELLS - CONSULTANT ASSESSMENT OFFICER

REPORT DATE: 13 DECEMBER 2024

REPORT FOR: ELECTRONIC DETERMINATION

1. PURPOSE OF REPORT

This is a supplementary report which seeks electronic determination by Willoughby Local Planning Panel (WLPP) for Development Application DA-2021/5/B to modify the original proposal for alterations to the approved building materials, including changes to the external floor finishes, following the previous deferral of the application by the Panel for further information.

The application was originally referred to the WLPP on 3 December 2024 for determination because the landowner is the council.

2. OFFICER'S RECOMMENDATION

THAT the Willoughby Local Planning Panel:

2.1 Approve modification application DA-2021/5/B for modification of DA-2021/5 for alterations to the approved building materials, including changes to the external floor finishes and changes to the levels of the accessible drop off zone and car space at 1A Burra Road, Artarmon and a modified consent notice issued subject to the conditions in Attachment 6, for the following reasons:

2.1.1 The proposed development will continue to make a positive contribution to the quantum and quality of community resources made available by Council for the social, cultural and recreational wellbeing of the community of Artarmon and more broadly, the population of Willoughby.

2.1.2 The proposed refurbishment (as modified) in tandem with the adaptive reuse of the former bowling club clubhouse is capable of complementing and preserving the history of the site and the heritage of Artarmon and Willoughby.

2.1.3 The proposed development is consistent with the local planning framework, and has minimal and manageable environmental impacts on natural and built environments.

3. BACKGROUND

In addition to the background provided to the original report, the following is relevant.

The Development Application was originally considered at the Willoughby Local Planning Panel public meeting on 3 December 2024. The assessment officer's recommendation was for approval subject to conditions.

Determination of the application was deferred as follows:

The Panel determined to **defer consideration** of the modification application until 19th December 2024 to allow additional information to be provided regarding the original roof treatment and proposed. Further advice regarding the options to make the deck waterproof. The reason for the changing to the decking material, the options considered and a comparison of the sustainability of materials determined and the current proposal. Circulation of the Conservation Management Plan to Panel Members.

On 11 December 2024 the applicant provided correspondence from Architectural Projects and a written response to the Panel's items.

The Development Application is referred to the same Willoughby Local Planning Panel that considered the original proposal, for electronic determination. This supplementary report provides an assessment of the submitted material. The proposal is considered acceptable and recommended for approval.

4. DISCUSSION

The information supplied by the applicant, which includes information on the amended roof tiles (which is outside the scope of the subject modification application), options considered to make the deck waterproof, the reasons for the proposed change to the decking material, and sustainability – in additions to favourable reports from the applicant's heritage adviser Architectural Projects and also from Council's Heritage Officer, confirms that the proposal is a satisfactory one.

The CMP was sent to the Panel on 5 December 2024.

On a miscellaneous note, the memo to the Panel on 3 December 2024 referred to an NCC condition 36 – it is in fact condition 79.

5. NOTIFICATION

Re-notification of the proposal was not required as the material submitted merely supports the application in its current form.

6. CONCLUSION

The Development Application DA-2021/5/B (previous WLPP report) has been assessed in accordance with Section 4.15 (79C) of the *Environmental Planning and Assessment Act 1979*, *WLEP 2012*, *WDCP* and other relevant codes and policies. It is considered that the proposal is acceptable in the particular location, subject to the consent conditions included in Attachment 6.

ATTACHMENT 1: SUPPLEMENTARY ASSESSMENT

The applicant's written response to the Panel's items is contained in Attachments 2, 3 and 4 of this report. This commentary is to be read in conjunction with the applicant's submission, the previous WLPP report dated 26 November 2024 and Memo to the Panel dated 3 December 2024. Council's Heritage Officer has reviewed the applicant's updated information and provided a memo on 12 December 2024, which is contained in Attachment 6.

The Panel's items are addressed under following sub-headings:

1. Roof Material treatment
2. Options to make the deck waterproof and reasons for changing the decking material
3. Comparison of sustainability
4. Heritage

1. Roof Material treatment

Applicant's Response:

"It should be noted that the S4.55 Application does not seek to amend the approved materials for the roof tiling. By way of background, the approved roof treatment, and the material to be used is concrete roof tile of an equivalent profile to the existing roof. The existing tiles were found to be extremely brittle and severely eroded and pitted. It was not possible to refurbish and warrant the performance of the tile for reuse necessitating the need to replace the tiles.

To ensure that the ongoing management of the construction activity conforms with the Heritage Requirements and conditions of approval, ongoing advice and guidance has continued to be sought by a qualified heritage architect on a number of aspects of works. The heritage architect has previously confirmed the treatment and materials for a suitable roof tile. The tile colour was also referred and the response to that was included in the overall commentary provided from the Heritage Architect in response to a request to confirm the colour and which has been included in the heritage statement used as part of the application relating to deck and civil works changes".

Council assessment officer Response:

Conditions 2(j) and 2(n) read, respectively (my emphasis):

2. Submit the Following Information to Willoughby City Council

Prior to the lodgement of an application for a construction certificate, the applicant shall submit plans and specifications satisfying the following requirements to Willoughby City Council for approval. Documentation confirming approval by Willoughby City Council shall then be submitted to the Certifier for the application of a construction certificate.

- (j) **Amend roof material to concrete tiles**, to be of the **same or a similar colour** to those used for the former clubhouse.
- n) All external building material shall be in colours and textures, which are compatible with the heritage character of the locality. In this regard, the Schedule of Colours and Finishes submitted must be updated **as per Condition 2**:
 - i. Replacement of FC cladding is to match the original weatherboard profile;

- ii. **Any new roofing materials must match those of the existing tiles to ensure the use of materials consistent with the character of the original building**
- iii. Aluminium windows to only be used where the existing window frames cannot be reused. The revised Schedule of Materials and Finishes shall be provided to the Certifying Authority before issue of a Construction Certificate.

I note the following points in support of the change in roof tile:

- (a) Council’s Project Team have noted that “... the Artarmon Pavilion roof have degraded over the years. They are beyond their life” (*Senior Project Manager Thomas Gough, 2.09.2024*);
- (b) The applicant’s heritage adviser Architectural Projects (who have been involved in the project from its inception) confirms in the attached letter dated 26.08.2024, that:
“The applicant has proposed replacement of the roof tiles. Two roof samples from two companies have been provided and checked against the original roof tile. The provided ‘Tudor Aniseed’ tile is the preferred tile”. The author confirmed in letter dated 11 December 2024 (Attachment 3) that “Roof tile of Tudor Aniseed (Barramundi) is accepted and is the appropriate finish”. See image 2A below.

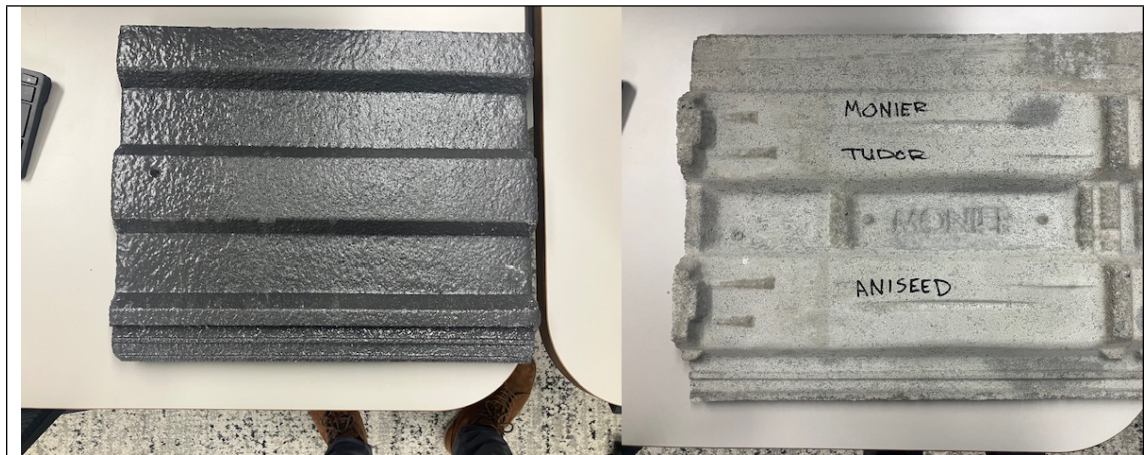


Image 1: Approved tile from heritage consultant Architectural Projects’ Jennifer Hill.



Image 2: Original roof tile.

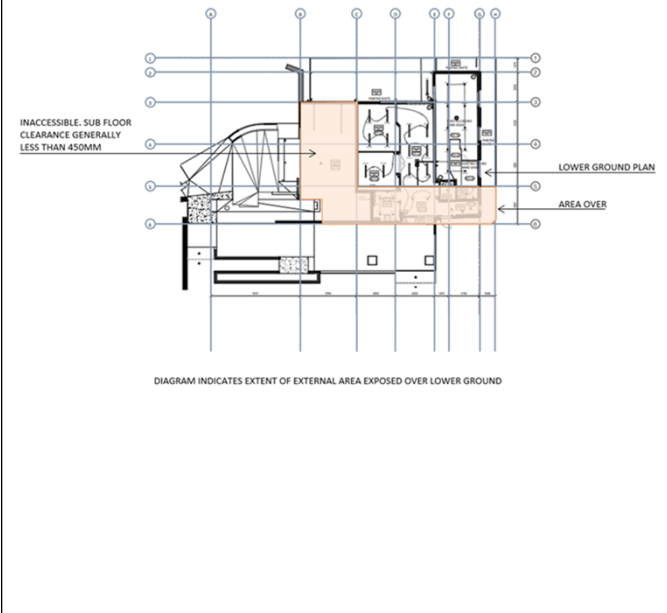

- (c) Approved drawing DA-0208 Rev 7 (DA-2021/5/A) notates “remove existing roof concrete roof tiles & gutters”;

- (d) Approved drawing DA-0213 Rev 7 (DA-2021/5/A) notates the roof as “Black concrete roof tiles as per DA conditions (j)”;
- (e) The applicant will use ‘Tudor Aniseed’;
- (f) Satisfaction of this condition does not necessitate a s4.55 application;
- (g) The applicant’s heritage adviser Architectural Projects confirms in its report (attached) dated 11 December 2024 that:
 - “The proposed replacement of roof tiles is considered necessary to maintain the ongoing integrity of the building and the replacement tiles – which have been consulted on with the Heritage officer – are considered acceptable”.

2. Options to make the deck waterproof and reasons for changing the decking material

The applicant confirms a range of alternative deck waterproofing options have been considered, and tables the options explored. The Modwood decking option states “... Not permitted- as per manufacture spec – cannot lay over concrete”.

The applicant adds: “... The poor ventilation in this area has caused deterioration of the subfloor bearers and joists and will continue to be problematic. This will be compounded by the water ingress that would occur with an open decking and also the hygiene issues detailed previously.

	
<p>Image 3: The applicant’s figure showing the subject decking at ground floor level superimposed over the lower ground floor.</p>	<p>Image 4: The applicant’s photo with description “Above photo shows glower ground floor spaces/rooms below southern verandah with electrical switch room in centre”.</p>

The applicant concludes that, “... in summary, no viable alternative to address the performance requirements of the verandah area has been identified other than concrete”.

The applicant itemises “specific issues identified that necessitate a change of floor material” which includes:

- Fyrchek’s unsuitability as a covering under Modwood, including potential for damage and loss of integrity of the Fyrchek material;
- Void area being susceptible to ingress and accumulation of dirt and waste;
- Electrical and valuables being susceptible to water entry;
- Alternative timber decking material such as natural timber present issues in relation to cleaning, maintenance and drainage; and

- Issues of drainage or self-cleaning due to the inability to grade the sheeting.

The applicant says (under the subheading comparison of sustainability”) that “... the structure as currently approved will not realistically last beyond several months of being exposed to any water ingress”.

Council assessment officer Response:

Sufficient consideration has been given to alternate options and the reasons for the change are considered legitimate, sufficiently so to approve the application.

3. Comparison of sustainability

The applicant bases its sustainability discussion on lifespan of the materials and frequency of turnover Modwood versus concrete. The applicant states that the Modwood material has a maximum 10 year warranty (material-only) and that a “service life of 15 years” is anticipated, after which “... the entire structure including the Fyrchek ceilings would require replacement or major renewal”.

By comparison the applicant states that the lifespan of a concrete deck is “.... conservatively 60 years or equivalent to the building itself”.

The applicant states that the initial cost of the two surfaces is similar however cost of replacement of the Modwood deck would be “minimum of 3 times that of concrete over the expected building life”. In addition, operational costs associated with cleaning and maintenance of the Modwood decking would be higher.

The applicant flags a commitment to use a low carbon concrete.

Council assessment officer Response:

The imposition of condition 16A is considered a satisfactory response to the issue of sustainability.

4. Heritage

The applicant has provided a letter and a report from its heritage adviser Architectural Projects, both dated 11 December 2024.

The letter (Ref: Job No. 1934/JH:SA) acknowledges the proposed replacement of Modwood from the western and southern deck and replacement with concrete results in “no issues with the change in material on heritage grounds”.

The report concludes with the following comments from Architectural Projects:

“The following is noted about the proposed works:

- The proposed amendment to the approved DA-2017/5 and amendment DA-2017/5/A will not reduce the understanding of the historical and social significance of the former Artarmon Bowling Club which will be conserved through the overall retention of the building form and associated commemorative plaques and other paraphernalia. It is noted that no aspect of the building itself has been graded as being above moderate heritage significance.
- The proposed replacement of roof tiles is considered necessary to maintain the ongoing integrity of the building and the replacement tiles – which have been consulted on with the Heritage Officer - are considered acceptable.

- There will be no impact to the heritage significance of the Artarmon Heritage Conservation Area.
- Overall the work is considered to be of a minor nature, including replacement of the roof material – and the heritage significance of the former Artarmon Bowling Club will not be reduced as a result of the works taking place”.

Council's Heritage Officer has reviewed the proposal (see Attachment 6) and the response from Architectural Projects and provides the following commentary:

The following is noted following the additional request for information from the WLPP:

Architectural Projects has provided an additional letter confirming that the proposed materials and finishes will be appropriate and will not adversely impact the understanding and significance of the Artarmon Pavilion

In summary these are noted below:

- *There are no issues with the change in materials on heritage grounds.*
- *Charcoal channel support is accepted. Maximum allowable spacing is 130mm.*
- *Roof tile of Tudor Aniseed (Barramundi) is accepted and is the appropriate finish.*
- *The red brick is the extension brick and is accepted*

It is agreed that these will indeed be appropriate materials and will maintain the understanding and significance of the Artarmon Pavilion.

There are no additional objections to the proposed works subject to ongoing adherence to the previously provided conditions.

Council assessment officer Response:

Both the applicant's and the Council's heritage adviser's find the proposal satisfactory on heritage grounds. The application should not be refused on heritage grounds.

ATTACHMENT 2: APPLICANT WRITTEN RESPONSE

Artarmon Pavilion S4.55

DA Number: DA-2021/5/B

PURPOSE:

The purpose of this response provide additional information requested by the WLPP on 3 December 2024. The WLPP requested the following information be provided:

1. Roof Material treatment
2. Options to make the deck waterproof
3. Options considered in proposing the change to the decking material
4. Comparison of sustainability.

BACKGROUND

The modifications sought for this application relate to two elements as outlined in Section 3 of the application:

- 3.1.1 Change to materials of outdoor flooring The Modwood decking material of the outdoor patio and amphitheatre is to be amended as follows: — Lower Ground: replace with concrete stone — Ground level: replace with concrete stone and common brick It is proposed to change the handrail and railing finish to charcoal
- 3.1.2 Amend levels of accessible drop zone and car space It is proposed to adjust the level of the accessible drop off zone and car parking space from RL 64.43 to RL 64.19. The current design of the accessible drop off zone and accessible car parking space poses safety concerns due to a hazardous fall height exceeding 900mm to the north of the building. Additionally, the raised drive at the accessible, rests directly against the building, could potentially compromise the building’s structural integrity. These issues will be mitigated through lowering the civil levels of the accessible drop off zone. Furthermore, the adjustment remains compliant with the Disability Discrimination Act (DDA), thereby maintaining accessibility standards.

In response to the additional information and clarifications sought by the Panel the following information is provided

1. Roof Treatment

It should be noted that the S4.55 Application does not seek to amend the approved materials for the roof tiling. By way of background, the approved roof treatment, and the material to be used is concrete roof tile of an equivalent profile to the existing roof. The existing tiles were found to be extremely brittle and severely eroded and pitted. It was not possible to refurbish and warrant the performance of the tile for reuse necessitating the need to replace the tiles.

To ensure that the ongoing management of the construction activity conforms with the Heritage Requirements and conditions of approval, ongoing advice and guidance has continued to be sought by a qualified heritage architect on a number of aspects of works. The heritage architect has

previously confirmed the treatment and materials for a suitable roof tile. The tile colour was also referred and the response to that was included in the overall commentary provided from the Heritage Architect in response to a request to confirm the colour and which has been included in the heritage statement used as part of the application relating to deck and civil works changes.

2. Options to make the deck waterproof

A range of alternative options have been considered in seeking a suitable outcome to address the waterproofing of the deck. These alternatives are provided in the table below. In addition to the options identified below the Contractor building the project on behalf of Council has indicated that they would not be able to warrant their work against moisture or water ingress if an open deck system were used.

The building Contractor has indicated that they are unlikely to achieve independent electrical and fire certification of the electrical switch room, being one of the ground floor spaces affected.

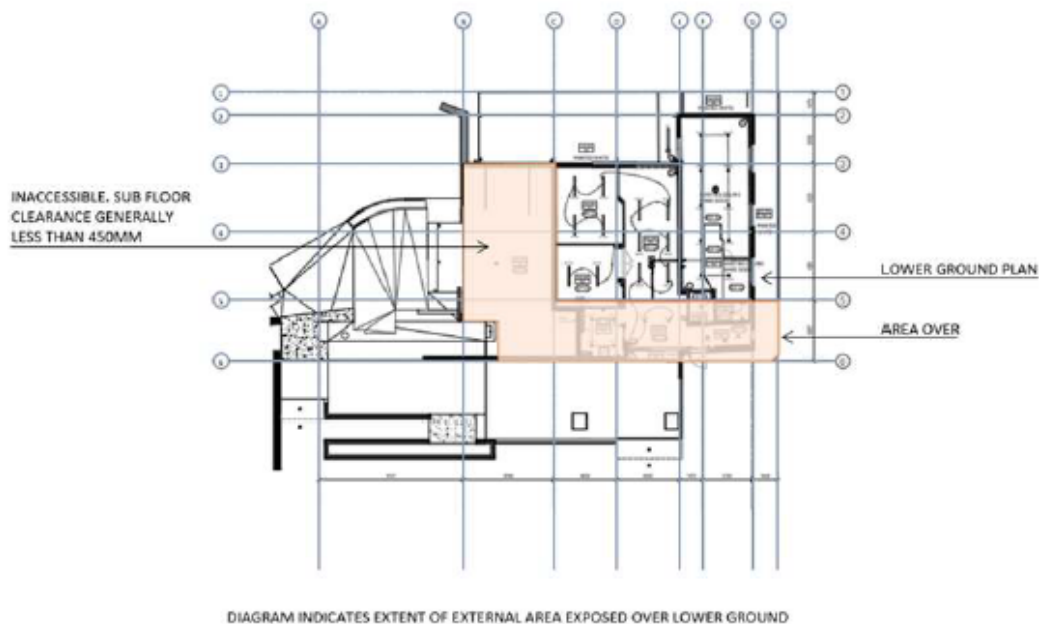
Refer letter provided by the building Contractor regarding the deck.

Option	Description	Waterproof performance	Maintenance issues	Fire performance	Slip resistance/performance	other
Tanking of overall structure	Provision of a waterproof steel tray below joists	yes	Unable to clean void or tray of debris build up	Would not achieve with debris build up	Achieved, subject to deckboard performance	Would reduce head height and clearance to rooms below
Use of marine ply sheeting	Lay marine ply as decking surface over the joists and seal or caulk joints between sheets	Yes , but would deteriorate over time due to penetrations and deterioration of caulking	High maintenance requirement due the need to maintain surface coating and sealing/caulking	Timber is Unable to achieve fire rating for bushfire protection	Likely to require the addition of carborundum strips. Performance will be highly dependent on paint and surface condition at point in time.	Difficult to ensure weather proofing at window threshold Appearance
Concrete with Spandek formwork	Form concrete slab over existing support walls using	yes	Low maintenance	Achieves fire rating and performance	Achieve as specified	Need to conform with CMP and any heritage or design objectives.

	steel sheet formwork					
Modwood Decking over a concrete base	Lay decking over the concrete to give a similar appearance	N/A	N/A	N/A	N/A	Not permitted- as per manufacture spec – cannot lay over concrete

These issues apply to both the southern verandah area and the and the western patio area. The western zone (entry to the building) is and will remain an inaccessible area, with underfloor clearances generally less than 450mm. The poor ventilation in this area has caused deterioration of the subfloor bearers and joists and will continue to be problematic. This will be compounded by the water ingress that would occur with an open decking and also the hygiene issues detailed previously.

The plan below highlights the verandah area at ground floor over the rooms and structure below. This shows the open deck area would be above the inaccessible western subfloor, partially above a storeroom, the electrical switch room, entry corridor to storage areas and the gardeners store and toilet/bathroom





Above photo shows glower ground floor spaces/rooms below southern verandah with electrical switch room in centre

In summary, no viable alternative to address the performance requirements of the verandah area has been identified other than concrete.

In relation to the use of the concrete in the amphitheatre zone the current design is for composite decking over a concrete slab. Similar to the issues at the verandah zone the accumulation of debris below the boards is considered problematic from a health and maintenance perspective.

In addition, the manufacturers specification specifically precludes the use of Modwood above a concrete surface and will not warrant the product in these circumstances. The reason for this is that the product needs good ventilation and this is not achieved when in contact or close proximity to a concrete slab due to the moisture absorption of the boards.

3. Options considered in proposing the change to the decking material to the south verandah the current development approval to adaptively reuse the former Bowling Clubhouse building for

community use, provided for the conversion of part of the interior floor space to an external verandah at the south of the building.

The southern verandah extends partly over the existing lower ground storeroom, access corridors and inaccessible subfloor areas contained by the brick wall supports.

The design as proposed sought to provide a measure of waterproofing/protection to these lower areas with the use of a composite timber decking on timber joists and a layer of a Gyprock Fyrchek (a high resistance plasterboard) sheeting material below to enclose and isolate the spaces below.

Fyrchek is *moisture resistant*, however it is not *waterproof*. This arrangement has subsequently been identified as not adequately meeting the durability, maintenance and weatherproofing necessary in a public use building. Additionally, it exposes the internal underfloor of the building, joists and internal floor boards to exposure.

The specific issues identified that necessitate a change of floor material are :

- The Fyrchek material whilst suitable for walls and ceilings, is not suitable for a situation where it effectively forms part of a “roofing” to the areas below. The open nature of a decking board configuration allows the ingress of water to the Fyrchek layer with no effective means of drainage.
- The void area between the Fyrchek and the decking is approximately 200mm in depth and the board gap will allow the ingress and accumulation of dirt and waste (in addition to water) into the void area with both health and maintenance issues. This is of particular concern, noting the public use of this area and the likelihood of food and drink spillage.
- Damage to the Fyrchek from water ingress will void its fire rating which is a specific BCA/NCC performance criteria
- Storage, archival and electrical service rooms below will not be sealed or waterproofed and be exposed to rain and weather. The electrical switch room in particular is required to meet the specific fire and smoke requirements of the BCA/NCC
- Any open deckboard material (alternative to Modwood composite decking) such as natural timber present similar issues in relation to cleaning, maintenance and drainage.
- Drainage or self-cleaning of the surface is not achievable due to the inability to grade the sheeting which would be fixed to the underside of the joists of the supporting timber

No viable alternative to address the performance requirements of the verandah area has been identified other than concrete.

4. Comparison of Sustainability

As no option other than the proposed concrete surface has been identified as meeting the required building and operational performance necessary, a *direct* sustainability comparison between the design of the overall verandah structure containing a deck board surface and the proposed concrete deck is not possible. This is due to the fact that the structure as currently approved will not realistically last beyond several months of being exposed to any water ingress.

If, however a solution did exist that permitted the use of the composite timber/Modwood deck boards, a comparison of lifecycle of the deck can be made.

The warranty on Modwood is a maximum of 10 years (material only). A service life of 15 years for the boards and the timber support joists is anticipated under normal service conditions in a public

use environment. At this time the entire structure including the Fyrchek ceilings would require replacement or major renewal.

By comparison the lifespan of a concrete deck is conservatively 60 years or equivalent to the building itself.

The initial cost of the two surfaces is similar and accordingly the material cost of replacement of the Modwood deck would be a minimum of 3 times that of concrete over the expected building life.

In addition to the material lifecycle costs, there would be operational costs associated with higher cleaning and maintenance of a deck material compared to a concrete surface.

The deletion of the composite deck/Modwood) and the use of the concrete slab (that was below the proposed Modwood) as the surface of the amphitheatre zone results in positive impact as there is no use of decking or support framing required. This results in a significant resource saving up front and continuing throughout the building's lifecycle.

As part of the proposed modification a commitment to use a low carbon concrete, has been made.

Other Matters

Heritage

As concerns have been raised in submissions to the exhibited modification additional clarification and supporting advice has been sought from the Heritage Architect who has been engaged on the project throughout and prepared the Conservation Management Plan.

A full response to the various issues raised by the Panel in its determination is attached to this submission

The key findings are summarised as follows

- *The proposed amendment to the approved DA-2017/5 and amendment DA-2017/5/A will not reduce the understanding of the historical and social significance of the former Artarmon Bowling Club which will be conserved through the overall retention of the building form and associated commemorative plaques and other paraphernalia. It is noted that no aspect of the building itself has been graded as being above moderate heritage significance.*
- *There will be no impact to the heritage significance of the Artarmon Heritage Conservation Area.*
- *Overall the work is considered to be of a minor nature, including replacement of the roof material – and the heritage significance of the former Artarmon Bowling Club will not be reduced as a result of the works taking place.*

In this regard it is also noted that the Heritage investigations and assessments have placed primacy on the social and cultural values of the clubhouse. The reasons for this are identified in the below extract from the Heritage Impact Statement

The former Artarmon Bowling Club at 1A Burra Road, Artarmon, has been nominated for listing as a local heritage item on the draft *Willoughby LEP*. The findings of an independent review of the Local Heritage nomination were presented to Council on 14th December 2020. The draft report on these findings contains the following summary of the cultural significance of the site, based on the conclusions of the independent heritage consultant:

The independent heritage consultant has concluded that the Artarmon Bowling Club ('the club') is worthy of Local Heritage listing due to its:

- *Historic significance – it is important in the course, or pattern, of the local area's cultural or natural history*
- *Social significance – it has strong or special association with a particular community or cultural group in the area for social, cultural or spiritual reasons; and*
- *Representative significance – it is important in demonstrating the principle characteristics of a class of the area's cultural or natural places.*

The nomination for listing as a local heritage item recognises the historical, social and representative significance of the Artarmon Bowling Club and its capacity to demonstrate these aspects of cultural significance despite substantial alterations and additions which have occurred since its original construction. The loss of integrity which has resulted from these modifications has diminished the original architectural character of the building and it is not of aesthetic significance, nor is it a rare example of its type.

- The future listing of the building as an item of local significance will reflect its historical, social and representative significance as a former bowling clubhouse and the social significance of the club.

Reference-Heritage Impact Statement – 1A Burra Road, Artarmon P:\19\19287\05_DOC\02_REPORTS\2020 HIS\19281_HIS_2020_final.docx

Building Warranty

In addition to the issues identified previously, the Contractor building the project on behalf of Council has indicated that they would not be able to warrant their work against moisture or water ingress if an open deck system were used. Further they are unlikely to achieve independent electrical and fire certification of the electrical switch room, being one of the ground floor spaces affected

ATTACHMENT 3: LETTER FROM ARCHITECTURAL PROJECTS DATED 11 DECEMBER 2024

Ref: 1934/JH:SA
11 December 2024

Willoughby City Council
31 Victor Street
Chatswood NSW 2067

Attention: Gynt Drinan

Dear Gynt

RE: JOB NO. 1934 – ARTARMON PARKLANDS PAVILION

Replacement of the Modwood with Concrete

Investigation resulting from removal of the internal timber floor confirms that the floor joists are in poor condition and require replacement. This is most probably due to the inadequate space in the subfloor. Given it is now an external space with inadequate space, below concrete is the preferred finish to address drainage. The removal of modwood from the west is therefore necessary. Removing the modwood from the front allow us to reconsider the step as a landscape element that use concrete stone and common brick.

As the applicant has therefore proposed removing the modwood from the western and southern deck only uses concrete stone and common brick will be used.

This allows us to reconsider the landscape element of the steps, ramps and planters.

This reduces the number of finishes and also increases the use of natural finishes.

Common Brick

The building sat on a common brick base and has a darker brick extension. Samples of common brick is accepted.

The brass trim in the concrete slab will assist interpretation of the extent of the original clubhouse.

The community deck to the south of the building is over a subfloor space and outside of the footprint of the original clubhouse so concrete is required.

Handrail & Railings

The handrail and the railings should be charcoal and recessive.

We need 1:50 of screen to the west and interpretation panel in the slab.

Roof samples from 2 companies have been provided and checked against the original roof tile.

Tudor Aniseed (Barramundi) is the preferred tile, (in fact Barramundi) and Barramundi is being provided.

Summary

There are no issues with the change in materials on heritage grounds.

Charcoal channel support is accepted. Maximum allowable spacing is 130mm.

Roof tile of Tudor Aniseed (Barramundi) is accepted and is the appropriate finish.

The red brick is the extension brick and is accepted.

Yours faithfully



Jennifer Hill
Director – Architectural Projects Pty Limited
Registered Architect No.4811. Nominated Architect

ATTACHMENT 4: REPORT FROM ARCHITECTURAL PROJECTS DATED 11 DECEMBER 2024

1934 – 1A BURRA ROAD, ARTARMON NSW 2064 (FORMER ARTARMON BOWLING CLUB)

Architectural Projects has reviewed and extracted the key points of the Willoughby Local Planning Panel Report dated 26 November 2024 in reference to DA-2021/5/B:

1. PURPOSE OF REPORT

The purpose of this report is to seek determination by Willoughby Local Planning Panel (WLPP) of modification application DA-2021/5/B. The application seeks consent to modify the original proposal for alterations to the approved building materials, including changes to the external floor finishes and changes to the levels of the accessible drop off zone and car space at 1A Burra Road, Artarmon.

Note that the roof tiles are not part of the application.

3. BACKGROUND

The background to the subject application is important to note.

24 June 2019 – Council resolved to endorse the demolition of the former Artarmon Bowling Clubhouse.

July 2019 – A 700+ signature petition was considered by Council which called for the clubhouse to be retained and renovated.

29 October 2019 DA 2019/254 – proposed demolition of the former Artarmon Bowling Club building (approved).

9 November 2020 – Council resolved to not commence demolition of the existing building until the current Local heritage nomination has been determined.

14 December 2020 - Council considered a report by Architectural Projects regarding nomination of the former Artarmon Bowling Club for listing in the Willoughby LEP's Schedule 5 as a local heritage item.

25 May 2021 DA-2021/5 – Council approved the DA for partial demolition, adaptive reuse and refurbishment of the former Artarmon Bowling Clubhouse building, into a new community facility and associated landscaping works. The condition of consent for this was to surrender the previous DA-2019/354 for demolition.

In the consent for DA-2021/5 the approved drawings show part retention, part removal of existing walls. Notably, the northern façade is notated on an approved plan ("Demolition Ground Floor Plan DA – 0207 Revision 3, plot dated 17.12.2020 prepared by SJB) "demolish and remove existing windows, posts, cladding & lining". The approved northern elevation (DA – 0501 Revision 3, plot dated 17.12.2020 prepared by SJB) shows the external cladding on the northern elevation as "CLD-01" which refers to "Non-combustible external FC Cladding with horizontal grooved joints" (as referenced in External Materials & Finishes Drawing DA – 002 Revision 3, plot dated 17.12.2020 prepared by SJB). Notwithstanding these annotations on the drawings, condition 2 (and notably 2c) was stipulated in the development consent to require the following:

- a) Reinterpret the original glazing to the west and maintain the openness of the proposed pavilion.*
- b) Interpret the 1957 original glazing to the bar on the south as a screen;*
- c) Retain the original weatherboard façade glazing to the north or reconstruct if the timber condition requires, of the northern section of the façade to the junction of the Community Room and the covered patio/pavilion.*
- d) Interpret the footprint of the 1965 Lounge in the paving.*
- e) Interpret the footprint of the 1957 bar in the paving and the roof over.*
- f) Adjust the detailing of the ramp (i.e. materials and colours) as necessary to accommodate these interpretations.*
- g) Retain the honour board in the main hall in situ and delete the proposed honour wall, subject to structural engineering advice that the honour board can remain in situ.*
- h) Adjust the access to the WCs to retain the original doors; the door can be widened to comply with access standards.*

- i) Fix the southern door shut to retain the symmetry.
- j) Amend roof material to concrete tiles, to be of the same or a similar colour to those used for the former clubhouse.
(Reason: Ensure compliance)

A Heritage Report by Edwards Heritage Consultants (dated 10 May 2021), and a Heritage Impact Statement by NBRS dated December 2020.

A Conservation Management Plan has been prepared by Architectural Projects, dated October 2021, and includes a "Grading of Significance" Diagram for the ground floor, lower ground floor and the roof

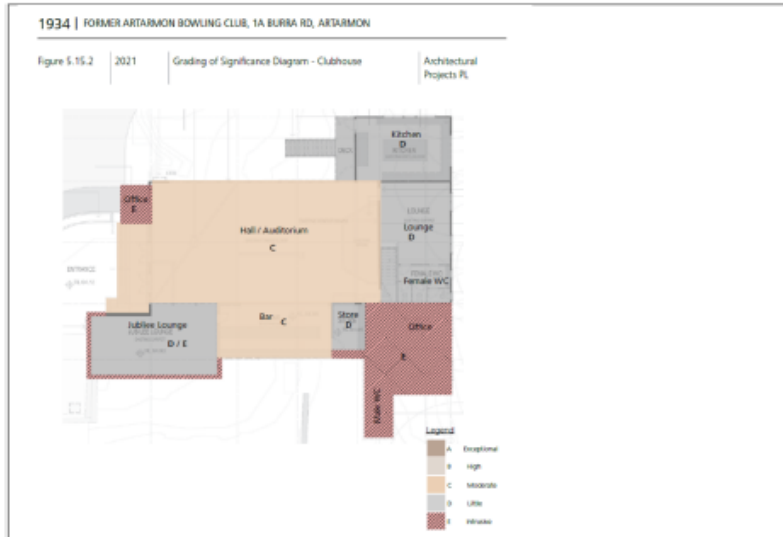


Image 1: Grading of Significance Diagram – Ground Floor Clubhouse (Source: Architectural Projects, Conservation Management Plan, October 2021).

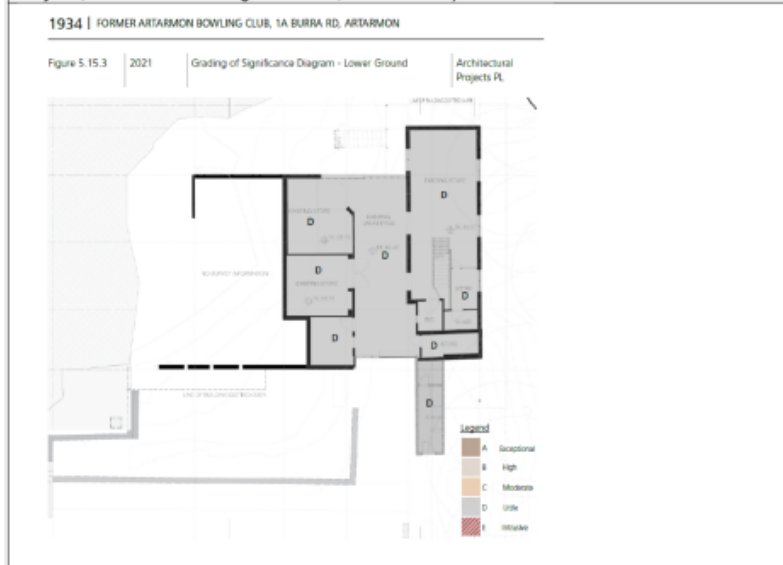
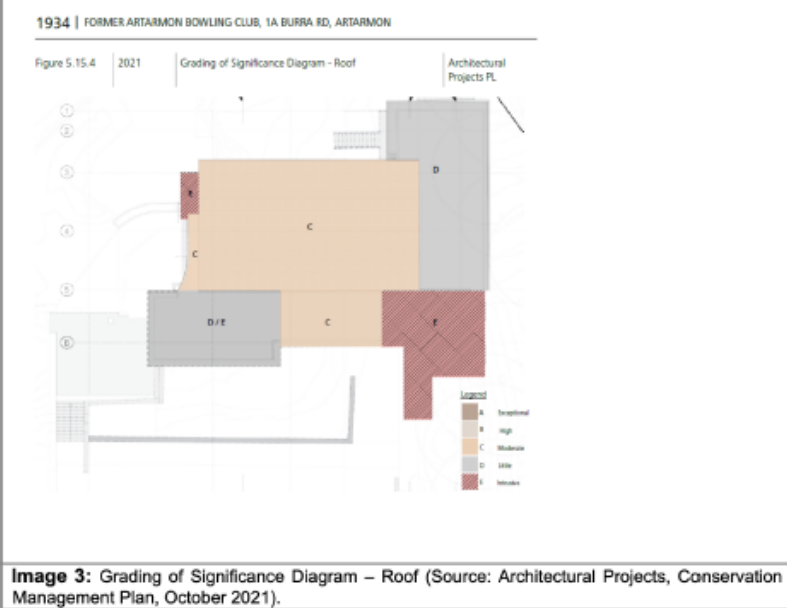


Image 2: Grading of Significance Diagram – Lower Ground (Source: Architectural Projects, Conservation Management Plan, October 2021).



28 June 2022 Modification Application DA-2021/5/A - Additional demolition works, internal layout changes and extension of balcony. More specifically, the scope of Modification Application DA-2021/5/A included:

Ground level

- Relocation of bubblers;
- The existing honour board and wall on which it is located, are to be retained in the current location.
- Reconfiguration of back stage area and public amenities;
- New aluminium windows to northern and eastern facades of kitchen; • Extension of northern kitchen balcony/deck;

9 October 2024 the subject modification application Modification Application DA-2021/5/B was lodged.

4. DISCUSSION

Change to materials of outdoor flooring

The Modwood decking material of the outdoor patio and amphitheatre is proposed to be amended as follows:

- Lower Ground: replace with concrete stone
- Ground level: replace with concrete stone and common brick

It is proposed to change the handrail and railing finish to charcoal.

HERITAGE REFERRAL

1A Burra Street, Artarmon is located within the Artarmon Heritage Conservation Area and is identified as an item of local heritage significance in the Willoughby LEP as:

Former Artarmon Bowling Club, 1 Burra Rd, Artarmon The Statement of Significance for the Heritage Item is as follows: The former Artarmon Bowling Club (greens, clubhouse, landscaping), which developed on the Burra Road site from 1952, has historical significance at a local level for its ability to reflect the post war growth and aspirations of the Artarmon community. The former Artarmon Bowling Club has historical significance for its ability to illustrate the rapid growth of lawn bowls as a sport for the masses and the increased popularity of leisure, sporting, and community facilities in the post war era.

The former Artarmon Bowling Club has historical significance for its ability to evidence the growing movement for the inclusion of women in the sport of Lawn Bowls with the inclusion of women members from 1957, and the provision for women in the clubhouse facilities from construction.

The former Artarmon Bowling Club site has social significance at a local level for the Artarmon Community. The community's high regard for the place is demonstrated in Community Consultation in response to the DA for demolition, and specifically in the submissions received, which provide evidence of the active presence of an informed and concerned community.

The former Artarmon Bowling Club including the greens, clubhouse and landscaping have limited representative significance at a local level as a suburban bowling club of the post war period and as a recreational facility central to post war leisure, sport, and social activities. The original layout of the former clubhouse and the 1965 additions have the ability to illustrate the inclusion of women bowlers in the Club. This is significant in the context of the gradual acceptance of women into club activities in the game of Lawn Bowls in the post war period.

Proposal

The proposed alterations and additions are as follows:

- *Replace Modwood Decking.*
- *Replacement of Roof Tiles*
- *Change of Finish to Hand-railing*

Heritage Comments

The following is noted about the proposed works:

- *The proposed amendment to the approved DA-2017/5 and amendment DA-2017/5/A will not reduce the understanding of the historical and social significance of the former Artarmon Bowling Club which will be conserved through the overall retention of the building form and associated commemorative plaques and other paraphernalia. It is noted that no aspect of the building itself has been graded as being above moderate heritage significance.*
- *The proposed replacement of roof tiles is considered necessary to maintain the ongoing integrity of the building and the replacement tiles – which have been consulted on with the Heritage Officer - are considered acceptable.*
- *There will be no impact to the heritage significance of the Artarmon Heritage Conservation Area.*
- *Overall the work is considered to be of a minor nature, including replacement of the roof material – and the heritage significance of the former Artarmon Bowling Club will not be reduced as a result of the works taking place.*

ATTACHMENT 5: LETTER FROM ARCHITECTURAL PROJECTS DATED 26 AUGUST 2024

Ref: 1934/JH:SA
26 August 2024

Willoughby City Council
31 Victor Street
Chatswood NSW 2067

Attention: Thomas Gough

Dear Thomas

RE: JOB NO. 1934 – ARTARMON PARKLANDS PAVILION – PROPOSED MODIFICATIONS TO MATERIALS AND FINISHES

The applicant has proposed changes to the floor finishes of the outdoor patio, changes to the amphitheatre railings and the roof tiles. The following changes are part of this modification:

1. Replace Modwood Decking

The applicant has proposed removing the modwood decking from the front and replace it with concrete stone and common brick. This will allow for reconsideration of the landscape element as the steps, ramps and planters.

The removal of the modwood decking reduces the number of finishes and also the use of natural finishes.

The building is sat on a common brick base and has a darker brick extension. The red brick is the extension brick and considered to be acceptable.

Removing the modwood decking from the front allow us to reconsider the step as a landscape element that use concrete stone and common brick.

2. Replacement of Roof Tiles

The applicant has proposed replacement of the roof tiles. Two roof samples from two companies have been provided and checked against the original roof tile. The provided 'Tudor Aniseed' tile is the preferred tile.

3. Change of Finish to Railing

The handrail and railings should be charcoal and recessive. Change of finish to *charcoal* is considered to be acceptable. Maximum allowable spacing is 130mm.

4. Other Issues

- The wall to the carpark should be straightened.
- We need an architectural drawing to 1:50 of the screen to the west and the interpretation panel in the slab to be reviewed

5. Conclusion

Architectural Projects has reviewed the proposed materials and finishes and can conclude that the proposed change in materials is acceptable on heritage grounds as no adverse impact upon the heritage significance of the conservation area is foreseen.

Yours faithfully



Jennifer Hill
Director – Architectural Projects Pty Limited
Registered Architect No.4811. Nominated Architect

ATTACHMENT 6: MEMO FROM COUNCIL'S HERITAGE OFFICER DATED 12 DECEMBER 2024



Memo To: Assessment Officer
Memo From: Heritage Planner
Date: 18/0/2024
Address: 1A Burra Street, Artarmon
Ref/File No.: DA-2017/15/B
Subject: Heritage DA Referral

Heritage Context

1A Burra Street, Artarmon is located within the Artarmon Heritage Conservation Area and is identified as an item of local heritage significance in the Willoughby LEP as:

Former Artarmon Bowling Club, 1 Burra Rd, Artarmon

The Statement of Significance for the Heritage Item is as follows:

The former Artarmon Bowling Club (greens, clubhouse, landscaping), which developed on the Burra Road site from 1952, has historical significance at a local level for its ability to reflect the post war growth and aspirations of the Artarmon community. The former Artarmon Bowling Club has historical significance for its ability to illustrate the rapid growth of lawn bowls as a sport for the masses and the increased popularity of leisure, sporting, and community facilities in the post war era.

The former Artarmon Bowling Club has historical significance for its ability to evidence the growing movement for the inclusion of women in the sport of Lawn Bowls with the inclusion of women members from 1957, and the provision for women in the clubhouse facilities from construction.

The former Artarmon Bowling Club site has social significance at a local level for the Artarmon Community. The community's high regard for the place is demonstrated in Community Consultation in response to the DA for demolition, and specifically in the submissions received, which provide evidence of the active presence of an informed and concerned community.

The former Artarmon Bowling Club including the greens, clubhouse and landscaping have limited representative significance at a local level as a suburban bowling club of the post war period and as a recreational facility central to post war leisure, sport, and social activities. The original layout of the former clubhouse and the 1965 additions have the ability to illustrate the inclusion of women bowlers in the Club. This is significant in the context of the gradual acceptance of women into club activities in the game of Lawn Bowls in the post war period.

Proposal

The proposed alterations and additions are as follows:

- Replace Modwood Decking.
- Replacement of Roof Tiles

Willoughby City Council

- Change of Finish to Hand-railing

Heritage Comments

The following is noted about the proposed works:

- The proposed amendment to the approved DA-2017/5 and amendment DA-2017/5/A will not reduce the understanding of the historical and social significance of the former Artarmon Bowling Club which will be conserved through the overall retention of the building form and associated commemorative plaques and other paraphernalia. It is noted that no aspect of the building itself has been graded as being above moderate heritage significance.
- The proposed replacement of roof tiles is considered necessary to maintain the ongoing integrity of the building and the replacement tiles – which have been consulted on with the Heritage Officer - are considered acceptable.
- There will be no impact to the heritage significance of the Artarmon Heritage Conservation Area.
- Overall the work is considered to be of a minor nature, including replacement of the roof material – and the heritage significance of the former Artarmon Bowling Club will not be reduced as a result of the works taking place.

Additional Comments Following WLPP

The following is noted following the additional request for information from the WLPP:

Architectural Projects has provided an additional letter confirming that the proposed materials and finishes will be appropriate and will not adversely impact the understanding and significance of the Artarmon Pavilion

In summary these are noted below:

- *There are no issues with the change in materials on heritage grounds.*
- *Charcoal channel support is accepted. Maximum allowable spacing is 130mm.*
- *Roof tile of Tudor Aniseed (Barramundi) is accepted and is the appropriate finish.*
- *The red brick is the extension brick and is accepted*

It is agreed that these will indeed be appropriate materials and will maintain the understanding and significance of the Artarmon Pavilion.

There are no additional objections to the proposed works subject to ongoing adherence to the previously provided conditions.

Lachlan Marshall
Heritage Officer

ATTACHMENT 7: SCHEDULE OF CONDITIONS

SCHEDULE

Development Consent DA 2021/5 is modified by DA-2021/5/B as follows:

A. Condition No. 1 is amended to read as follows:

1. APPROVED PLAN/DETAILS

The development must be in accordance with the following consent plans electronically stamped by Council:

Type	Plan No.	Revision/ Issue No	Plan Date (as Amended)	Prepared by
External Finishes	DA-002	3	17/12/20	SJB Architects
Demolition Site	DA-0205	3	17/12/20	SJB Architects
Demolition Lower Ground Floor	DA-0206	3	17/12/20	SJB Architects
Demolition Ground Floor	DA-0207	3	17/12/20	SJB Architects
Demolition Roof	DA-0208	3	17/12/20	SJB Architects
Proposed Site	DA-0210	3	17/12/20	SJB Architects
Proposed Lower Ground Floor	DA-0211	3	17/12/20	SJB Architects
Proposed Ground Floor	DA-0212	4	14/05/20	SJB Architects
Proposed Roof	DA-0213	3	17/12/20	SJB Architects
North and South Elevations	DA-0501	3	17/12/20	SJB Architects
East and West Elevations	DA-0502	3	17/12/20	SJB Architects
Sections	DA-0601	3	17/12/20	SJB Architects
Concept Design for DA Page 1 of 4	SY200290	Preliminary	11/12/20	Van Der Meer Consulting
Concept Design for DA Page 2 of 4	SY200290	Preliminary	11/12/20	Van Der Meer Consulting
Concept Design for DA Page 3 of 4	SY200290	Preliminary	11/12/20	Van Der Meer Consulting
Concept Design for DA Page 4 of 4	SY200290	Preliminary	11/12/20	Van Der Meer Consulting
Civil Drawing List	DAC000	C	14/12/20	Van Der Meer Consulting
Standard Notes	DAC001	C	14/12/20	Van Der Meer Consulting
Erosion and Sediment Control	DAC210	C	14/12/20	Van Der Meer Consulting
Ground Floor Drainage Layout	DAC401	C	14/12/20	Van Der Meer Consulting
Roof Drainage Layout	DAC402	C	14/12/20	Van Der Meer Consulting
Drainage Details	DAC403	C	14/12/20	Van Der Meer Consulting

SUPPLEMENTARY WLPP REPORT – DA-2021/5/B- 1A BURRA ROAD ARTARMON

OSD Tank Details	DAC404	C	14/12/20	Van Der Meer Consulting
OSD Catchment	DAC405	C	14/12/20	Van Der Meer Consulting
Access Planning Review Report	-	01	17/12/20	Group DLA
Report for BCA Compliance	-	2	15/12/20	Group DLA
Bushfire Assessment	-	-	-	Peterson Bushfire
Hazardous Materials Survey	-	0	19/07/19	EI Australia
Stormwater Management Report	-	B	16/12/20	Van Der Meer Consulting

As modified by (DA-2021/5/A)

Plan Type	Plan No.	Revision/ Issue No.	Plan Date (as Amended)	Prepared by
External Materials & Finishes	DA – 0002	7	12/11/21	SJB Architects
Demolition Site Plan	DA – 0205	7	12/11/21	SJB Architects
Demolition Lower Ground Floor Plan	DA – 0206	7	12/11/21	SJB Architects
Demolition Ground Floor Plan	DA – 0207	7	12/11/21	SJB Architects
Demolition Roof Plan	DA – 0208	7	12/11/21	SJB Architects
Proposed Site Plan	DA – 0210	7	12/11/21	SJB Architects
Proposed Lower Ground Floor Plan	DA – 0211	7	12/11/21	SJB Architects
Proposed Ground Floor Plan	DA – 0212	7	12/11/21	SJB Architects
Proposed Roof Plan	DA – 0213	7	12/11/21	SJB Architects
Proposed Elevations North & South	DA – 0501	7	12/11/21	SJB Architects
Proposed Elevations East & West	DA – 0502	7	12/11/21	SJB Architects
Sections A & B	DA – 0601	7	12/11/21	SJB Architects
Erosion and Sediment Control	C210	B	5/11/21	Van Der Meer Consulting
Pavement Layout	C301	B	5/11/21	Van Der Meer Consulting
Ground Floor Drainage Layout	C401	B	5/11/21	Van Der Meer Consulting
Roof Drainage Layout	DAC402	C	14/12/20	Van Der Meer Consulting
Drainage Details	DAC403	C	14/12/20	Van Der Meer Consulting
OSD Tank Details	C404	B	5/11/21	Van Der Meer Consulting
OSD Catchment	DAC405	C	14/12/20	Van Der Meer Consulting
Burra Road Layout	C501	B	5/11/21	Van Der Meer Consulting
Driveway Long Sections`	C502	A	5/11/21	Van Der Meer Consulting
Burra Road Details	C503	B	5/11/21	Van Der Meer Consulting

As further modified by (DA-2021/5/B)

Plan Type	Plan No.	Revision/ Issue No.	Plan Date (as Amended)	Prepared by
External Materials & Finishes	DA – 0002	9	16/9/2024	SJB Architects
Demolition Site Plan	DA – 0205	8	26/8/2024	SJB Architects
Demolition Lower Ground Floor Plan	DA – 0206	8	26/8/2024	SJB Architects
Demolition Ground Floor Plan	DA – 0207	8	26/8/2024	SJB Architects
Demolition Roof Plan	DA – 0208	8	26/8/2024	SJB Architects
Proposed Site Plan	DA – 0210	9	16/9/2024	SJB Architects
Proposed Lower Ground Floor Plan	DA – 0211	9	16/9/2024	SJB Architects
Proposed Ground Floor Plan	DA – 0212	9	16/9/2024	SJB Architects
Proposed Roof Plan	DA – 0213	9	16/9/2024	SJB Architects
Elevations – North & South	DA – 0501	9	16/9/2024	SJB Architects
Elevations – East & West	DA – 0502	9	16/9/2024	SJB Architects
Sections A & B	DA – 0601	9	16/9/2024	SJB Architects

the application form and any other supporting documentation submitted as part of the application, except for:

- (a) any modifications which are “Exempt Development” as defined under S.4.1(1) of the *Environmental Planning and Assessment Act 1979*;
- (b) otherwise provided by the conditions of this consent.
(Reason: Information and ensure compliance)

B. Condition No. 16A is added to read as follows:

16A. Sustainability

The design principles and initiatives captured in Willoughby Development Control Plan 2023 Part J Attachment 2 should, as far as practical, be incorporated into the development. A notation to this effect is to be added to the Construction Certificate plans prior to the issue of the Construction Certificate.
(Reason: Sustainability, compliance)

C. Condition No. 68A is added to read as follows:

68A. Access Compliance Statement

A suitably qualified access consultant is to provide an access compliance statement prior to the issue of an Occupation Certificate, that confirms that all relevant Australian Standards and Codes in relation to access are satisfied.
(Reason: Compliance)

D. Comply with all other conditions of the original development consent (as modified).

ATTACHMENT 8: CONSERVATION MANAGEMENT PLAN (OCTOBER 2021)

The document can be found under the DA tracking functionality for this application on council's website: <https://www.willoughby.nsw.gov.au/Development/Get-Approval/DA/DA-tracker-20-11-2024/Application-tracker>